



## Application for Architectural Review Board

**\* This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

*The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.*

### APPLICANT INFORMATION

Name of Applicant: DWIGHT DICKINSON

Phone #: (314) 727-8500

Email address of Applicant (for review comments): ddickinson@dharch.com

### PROJECT PROPERTY INFORMATION

Address for proposed work: 10094 Litzsinger Road, Ladue, Missouri 63124

Zoning District: A Residential Parcel ID # (St. Louis county record): 20M120117

DESCRIPTION OF PROPOSED PROJECT: A 650 square foot addition to the South Elevation of the existing Litzsinger School to house the Special School District of St. Louis County Audiology Department.

### Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

**By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.**

X  Date: March 25, 2021

*\* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision.*

## Architectural Review Board Checklist


*Please initial all items below to verify that your submittal includes all requirements:*


The following items shall be submitted to the Building Department by 11:00 am, no later than 7 days prior to the regularly scheduled meeting. Plans 24" x 36" are preferred and should be folded into individual packets. If plans are not able to be 24" x 36", the smallest size possible is preferred.


**THREE copies of building plans with THREE copies of this application and one DIGITAL COPY OF PLANS emailed to [aquinn@cityofladue-mo.gov](mailto:aquinn@cityofladue-mo.gov). At least one set of plans must bear the signatures of subdivision trustees (if applicable). Items without trustee signatures will not be placed on the agenda until they are obtained.**


\_\_\_\_\_ Schematic site plan at a scale of not less than one inch equals 20 feet including the following:

- Dimensioned property lines,
- Building setback lines,
- Easements identified,
- Existing and proposed area of work,
- Location of driveways and parking areas,
- Topographic contours of the existing grades and proposed finished grades at two-foot interval minimums for a distance 25 feet from the face of the existing and proposed area of work with an indication of direction of flow of storm water,
- Location of proposed landscape material,
- Landscape material proposed to be removed, and
- Identifying any accessory structures proposed or existing.
- Hardscape and greenspace coverage calculations for existing and proposed front, rear, side and overall lot.

 \_\_\_\_\_ Schematic floor plans (at a minimum scale of one-quarter inch equals one foot) showing overall building dimensions.

 \_\_\_\_\_ Building elevations (at a minimum scale of one-quarter inch equals one foot) showing vertical dimensions, fenestration, proposed materials and colors, and any existing construction where an addition or modification is proposed. All existing and proposed building materials shall be indicated on the existing building elevations.

 \_\_\_\_\_ Color photographs (8.5x11 inches) of the main building located on adjoining property. Color photographs (8.5x11 inches) of all building elevations of existing structures for projects involving remodeling or additions.

 \_\_\_\_\_ The application materials must include a list of all building enclosure materials, including the style and make of all windows and doors. Brochures, pictures, or other information shall be required for all non-standard building materials. Applicants are encouraged to submit an architectural color board showing the materials and colors to be used on the exterior of the building. Samples of representative proposed building materials shall be presented at the meeting where the application is being considered.



## **Audiology Department Relocation at Litzsinger School Special School District of St. Louis County**

### **Exterior Building Materials**

#### **A. Face Brick**

Manufacturer: Glen Gery / Sioux City Brick

Product: Red Sand

Size: Modular

Lot: 0819

#### **B. Composite Metal Panels and Column Cover**

Manufacturer: Alpolic / Mitsubishi Plastics Composites America, Inc.

Color: MTLC CMX Champagne

#### **C. Window Frames and Doors**

Manufacturer: Oldcastle (or approved equal)

Color: Dark Bronze Anodized

#### **D. Vision Glass**

Manufacturer: Oldcastle (or approved equal)

Product: 1" Insulated Panel – 1/4" Solarban 60 / AS 1/4" Clear

#### **E. Spandrel Glass**

Manufacturer: Oldcastle (or approved equal)

Product: 1" Insulated Panel – 1/4" Solarban 60 / 1/4" Velor w/  
Charcoal Frit

#### **F. Aluminum Letters**

Manufacturer: TBD

Typeface: Times New Roman

Color: Black (satin finish)

Size: As Noted



EXISTING		PROPOSED	
_____ 500 _____	Contour	_____ (500) _____	
x 500.00	Spot Elevation	(500) or (500)	
_____	Sanitary Sewer	_____	
_____	Storm Sewer	_____	
_____ OHW _____	Utility Service (E. T. G. etc.)	_____ (OHW) _____	

<u>LEGEND</u>	
	Anchor
	Benchmark
	Control Point
	Monument
	Soil Boring
	Stone
	Traverse Point

<u>PROPOSED</u>	<u>EXISTING</u>	
		Clean Out
		Catch Basin/Curb Inlet/Area Inlet
		Double Catch Basin/Curb Inlet
		Faucet
		Fire Hydrant
		Flared End Section
		Grated Inlet
		Light Standard
		Manhole
		Sign
		Utility Pole
		Valve or Meter
		Twin Light Pole
		Single Light Pole

1. CURRENT ZONING: A "RESIDENTIAL DISTRICT"
2. LOCATOR NUMBER: 20M120117  
PROJECT SITE ADDRESS: 2350 S LINDBERGH BLVD & 10094 LITZINGER ROAD
3. THIS SITE IS SERVED BY THE FOLLOWING UTILITIES:  
AMEREN MISSOURI  
LAQUELLE GAS COMPANY  
CITY OF LAQUE FIRE DEPARTMENT  
METROPOLITAN ST. LOUIS SEWER DISTRICT  
MISSOURI AMERICAN WATER COMPANY  
AT&T  
CHARTER COMMUNICATIONS

**FEMA FLOOD MAP NOTE:**  
WE HAVE EXAMINED FLOOD INSURANCE RATE MAP (COMMUNITY PLAN NUMBER 290363-0194-K, MAP NUMBER 29189C0194K & 29189C0307K, HAVING AN EFFECTIVE DATE OF FEBRUARY 4, 2015, OF THE NATIONAL FLOOD INSURANCE PROGRAM PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE AREA CONTAINING THE SUBJECT PROPERTY. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY IS LOCATED WITHIN UNDESIGNATED FLOOD ZONE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." THIS NOTE IS FOR THE PURPOSE OF PROVIDING INFORMATION AS INDICATED ON THE CURRENT FLOOD INSURANCE RATE MAP FOR THIS AREA, AND SHOULD NOT BE CONSTRUED AS AN INDICATION AS TO WHETHER FLOOD INSURANCE SHOULD, OR SHOULD NOT BE PURCHASED.

(ATG)	ADJUST TO GRADE
(TBR)	TO BE REMOVED
(TBR&R)	TO BE REMOVED & REPLACED
(TBRel)	TO BE RELOCATED
(UIP)	USE IN PLACE
---	APPROXIMATE SAWCUT LINE

## DEVELOPMENT PLAN NOTES:

1. SITE DATA:

TOTAL SITE DATA:

TOTAL PROPERTY AREA = 448,864 SQ. FT. or 10.30 ACRES

TOTAL EXISTING BUILDING AREA=	77,291 SQ. FT. or 17.2%
TOTAL EXISTING PAVEMENT AREA=	185,348 SQ. FT. or 41.3%
TOTAL EXISTING GREEN AREA=	186,225 SQ. FT. or 41.5%

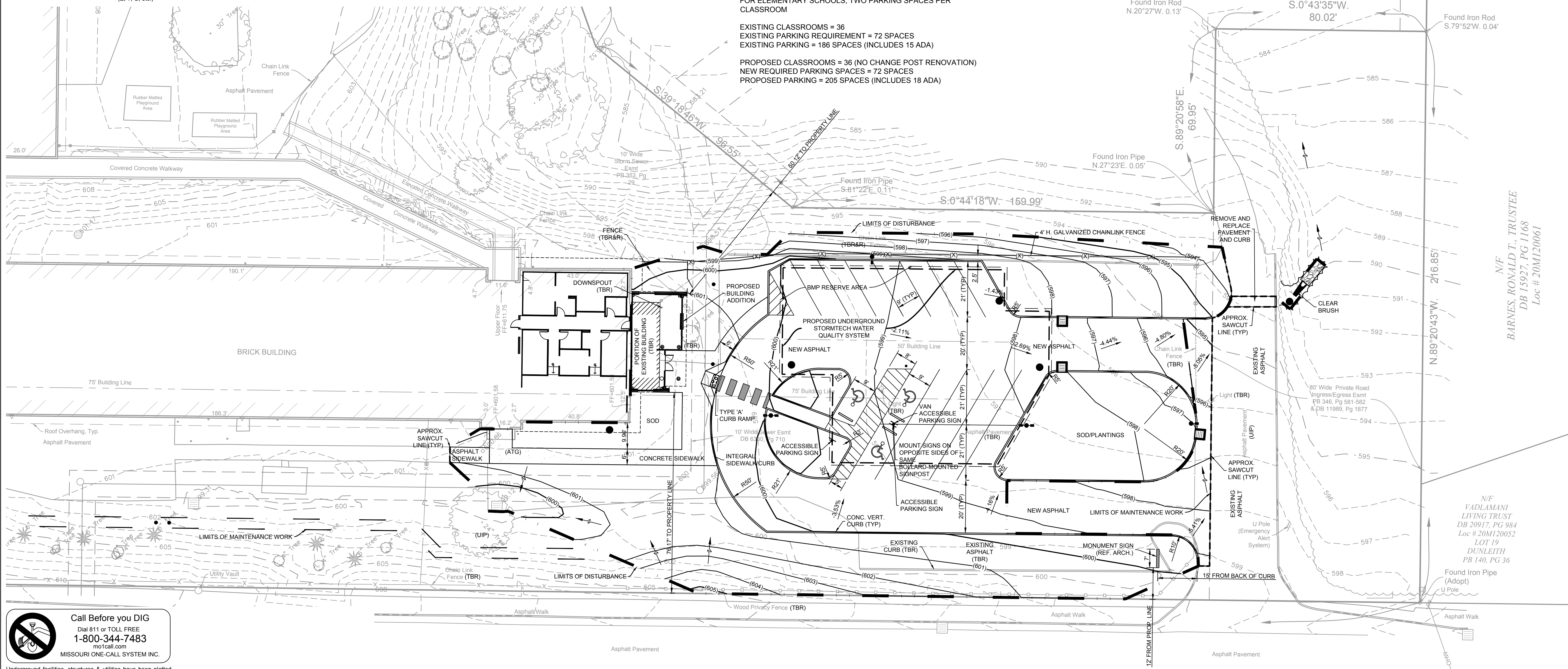
TOTAL PROPOSED BUILDING AREA=	77,698 SQ. FT. or 17.3%
TOTAL PROPOSED PAVEMENT AREA=	176,149 SQ. FT. or 39.2%
TOTAL PROPOSED GREEN AREA=	195,017 SQ. FT. or 43.5%


2. PARKING CALCULATIONS:

SCHOOL (PER ORDINANCE 1175 - SECTION VI.):  
FOR ELEMENTARY SCHOOLS, TWO PARKING SPACES PER  
CLASSROOM

EXISTING CLASSROOMS = 36  
EXISTING PARKING REQUIREMENT = 72 SPACES  
EXISTING PARKING = 186 SPACES (INCLUDES 15 ADA)

PROPOSED CLASSROOMS = 36 (NO CHANGE POST RENOVATION)  
NEW REQUIRED PARKING SPACES = 72 SPACES  
PROPOSED PARKING = 205 SPACES (INCLUDES 18 ADA)



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MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures & utilities.

The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act.

The original signed and sealed of this drawing is on file at the office of The Clayton Engineering Company. Any modifications to this drawing shall release said The Clayton Engineering Company, the Engineer and/or Surveyor whose seal appears hereon from any liability resulting from said unauthorized modifications. The signed and sealed original is the official document and shall take precedence over any digital version.

Project Benchmark:

St. Louis County Benchmark 13317 - Cut triangle on easternmost corner of concrete base for traffic signal control box in the southeast quadrant of the intersection of Lindbergh Boulevard and Litzinger Road, roughly 40' south of center median in Litzinger Road and 75' east of center median in Lindbergh Boulevard. Elevation = 613.33 FtUS (NAVD88)  
Benchmark was recorded by GPS observation through the MODOT RTK - Network on December 31, 2014. This elevation is in the NAVD 88 Datum.

MSD Ref. No.:21MSD-00144  
MSD Base Map :20M4  
Zip Code : 63124

Copyright 2021  
Clayton Engineering Co



the  
clayton  
engineering  
company, inc.

**ENGINEERS • SURVEYORS • PLANNERS**  
2268 WELSH INDUSTRIAL COURT  
ST. LOUIS, MISSOURI 63146  
(314) 692-8888 FAX: (314) 692-8688 claytoneng.com  
Mo. Cert. of Authority - Prof. Engineering #000067  
& Prof. Surveying #000014

Project Number: 13010-3		Designed: JRW / SWQ	
F.S.		Drawn: JRW	
F.B.		SUR.	
FILE: LITZ AUD SITEPLAN01 - 13010-3.DWG		3/19/2014 9:28 AM	BY: JR WILLIAMS



ARCHITECT

**DICKINSON HUSSMAN ARCHITECTS**  
11 East Lockwood Avenue Suite 200  
St. Louis, Missouri 63119  
T 314 727 8500 F 314 727 4040  
www.dharch.com  
MO State Certificate of Authority #004280

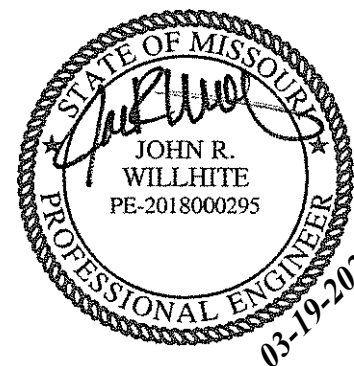
Civil Engineer:  
**THE CLAYTON ENGINEERING  
CO., INC.**  
2268 Welsch Industrial Court  
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MO State Certificate of Authority  
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Structural Engineer:  
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#2013042669

Electrical Engineer:  
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138 Weldon Parkway  
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SEAL

**Ownership of Instruments of Service:** All reports, drawings, specifications, computer files, field data, notes and other documents and instruments prepared by DHA as instruments of service shall remain the property of DHA. DHA shall retain all common law, statutory and other reserved rights, including the copyright thereto.

# ARB SUBMISSION

Project for:  
Special School District of St. Louis County  
**Audiology Department Relocation**  
at Litzsinger School  
10094 Litzsinger Road  
Ladue, St. Louis County, Missouri 63124

PROJECT NAME

## REVISIONS

DATE \_\_\_\_\_

March 25, 2021

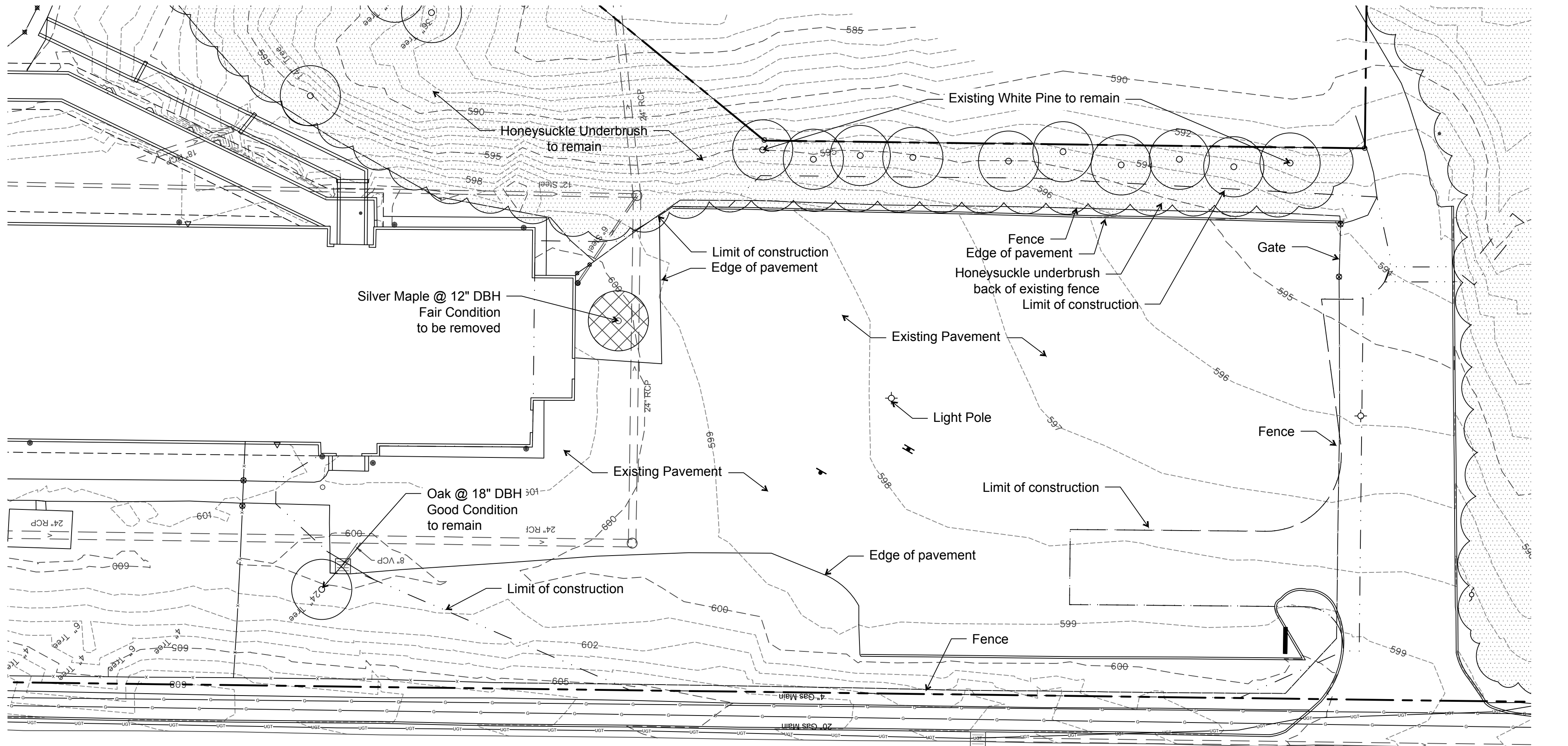
SSD Project # SSD-110-21  
DHA: 202102

CIVIL  
ARB SITE  
DEVELOPMENT PLAN

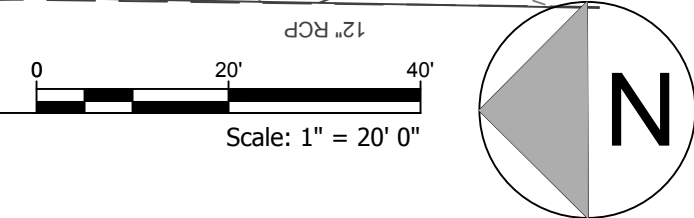
SHEET

# SDP1.0





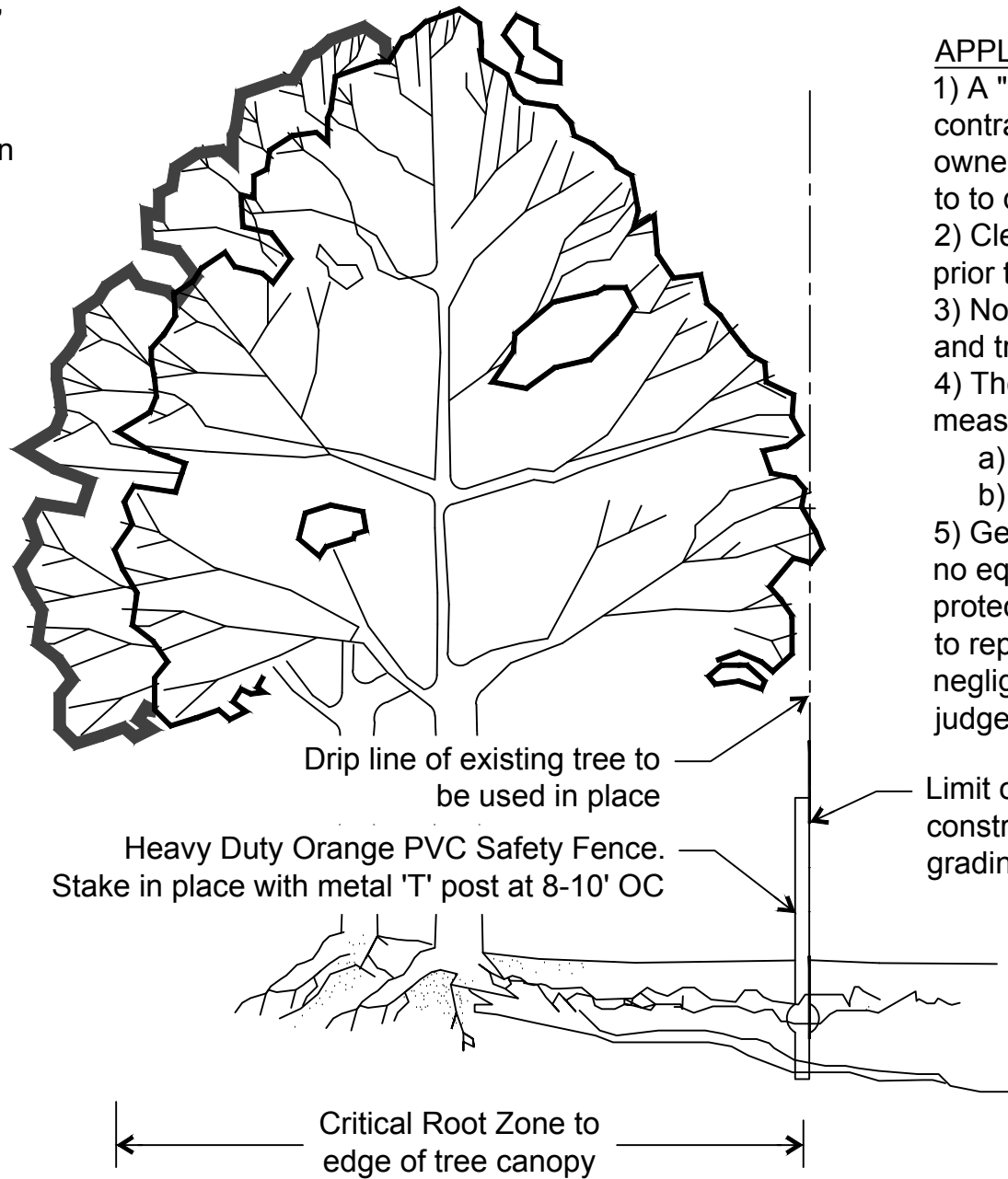
1 Existing Tree Delineation Plan



Excising Tree Notes:  
Trees observed by Dermody & Associates, LLC on February 10, 2021. One tree is within the limits of construction which is a Silver Maple in fair condition and to be removed.

Other trees within +/- ten limits of construction is one Oak Tree in good condition and ten White Pine. These trees are to remain.

Legend	
Symbol	Description
	Existing tree to remain
	Existing tree to be removed
	Existing Honeysuckle Underbrush
	Limits of construction -see Civil Sheets



A Existing Tree Protection Detail

- APPLICATION SPECIFIC NOTES:
- 1) A "Pre meeting" shall be held on site by the general contractor will include operators, construction supervisors, owner representative and architect. Meeting shall be held to discuss tree protection methods and limits.
  - 2) Clearing limits shall be staked by general contractor prior to on site meeting, see Civil plan for limit of grading
  - 3) No clearing or grading shall begin where root pruning and tree preservation measures have not been completed.
  - 4) The sequence of tree treatment and preservation measures shall be:
    - a) Stake limit of grading
    - b) Install tree protection fence
  - 5) General contractor shall be responsible to insure that no equipment and materials are stored with areas of protected trees. General contractor shall be responsible to repair and/ or replace trees damaged due to his/ her negligence. Owner and his/ her representatives shall judge the assessment of tree replacement or repair.

**ARCHITECT**

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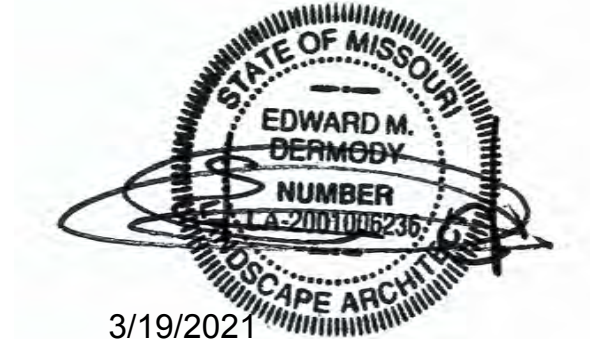
**Civil Engineer:**  
**THE CLAYTON ENGINEERING CO., INC.**  
2268 Welsh Industrial Court  
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3/19/2021

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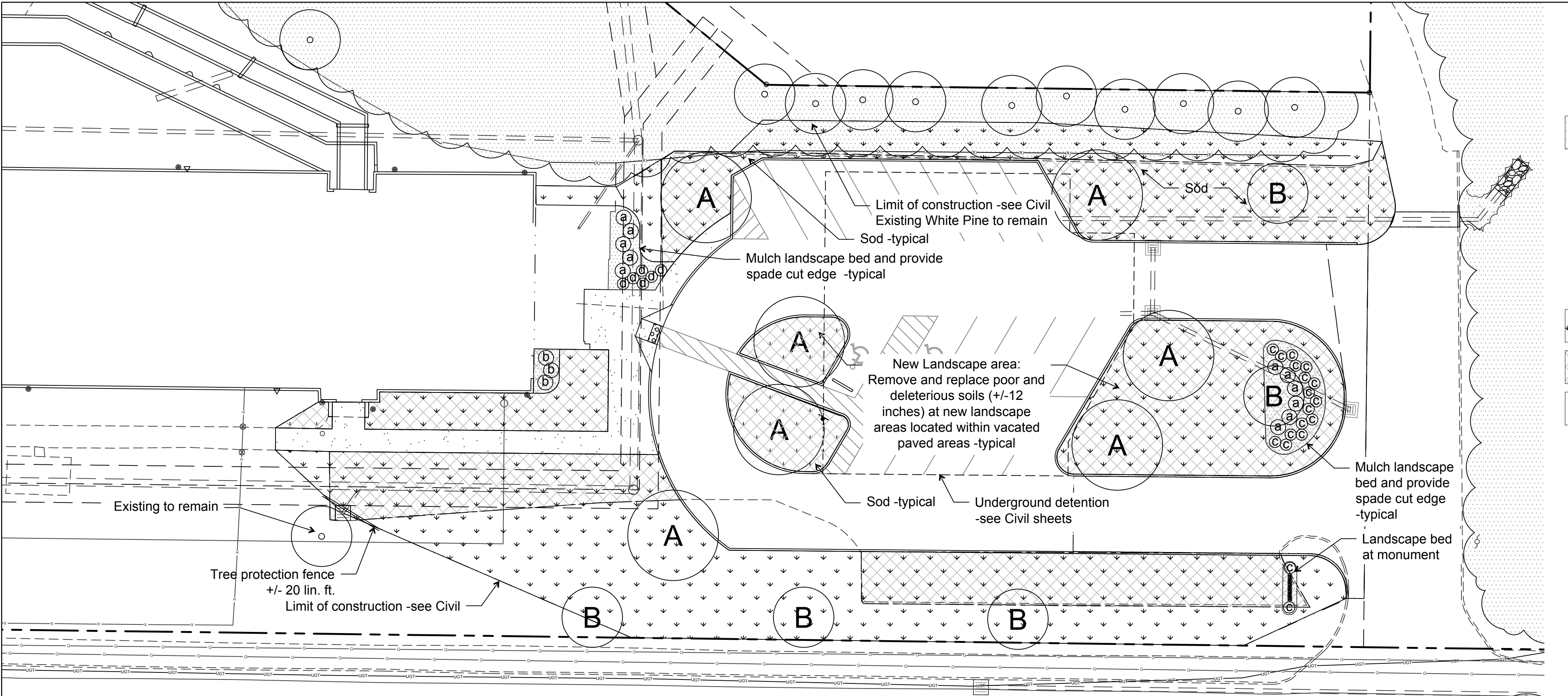
TITLE

PLANTING PLAN

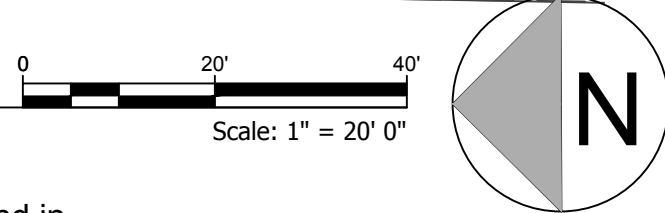
SHEET

L1.0





Legend Symbol	Description
	Existing tree to remain
	Existing Honeysuckle Underbrush
	Limits of construction -see Civil Sheets
	Proposed new tree
	Proposed new landscape
	Lawn
	New landscape area
	Landscape Bed

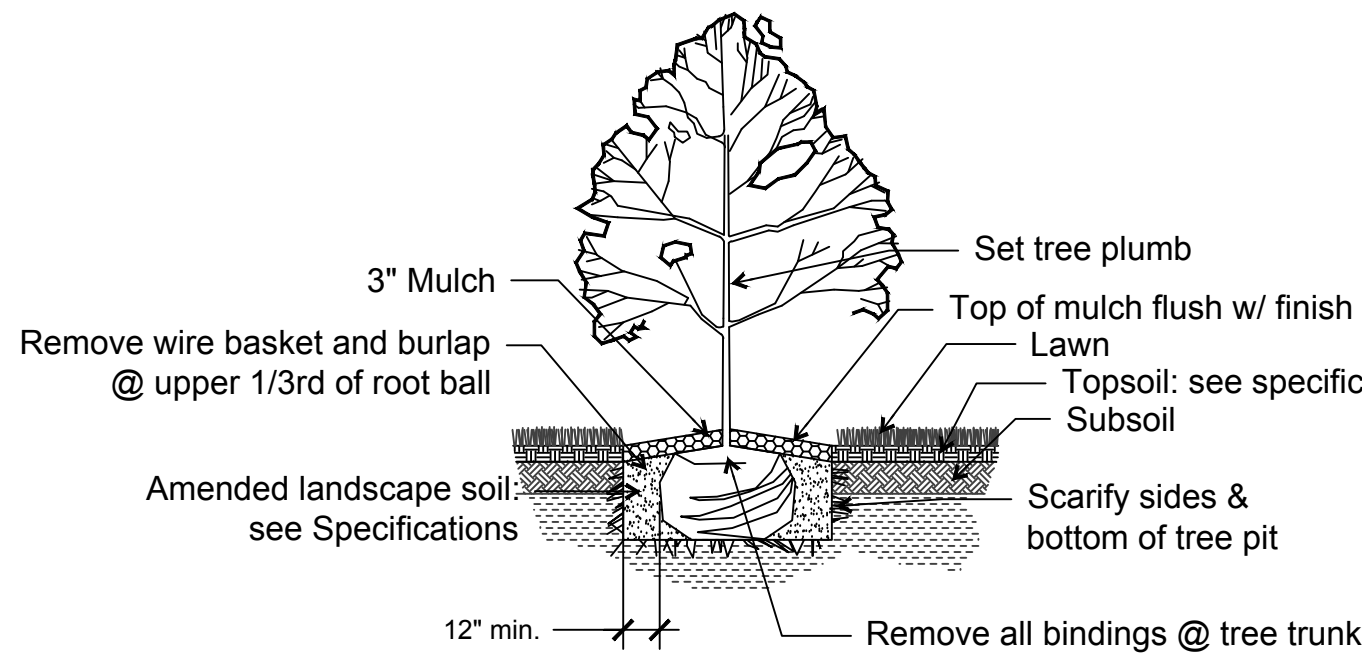


1 Planting Plan

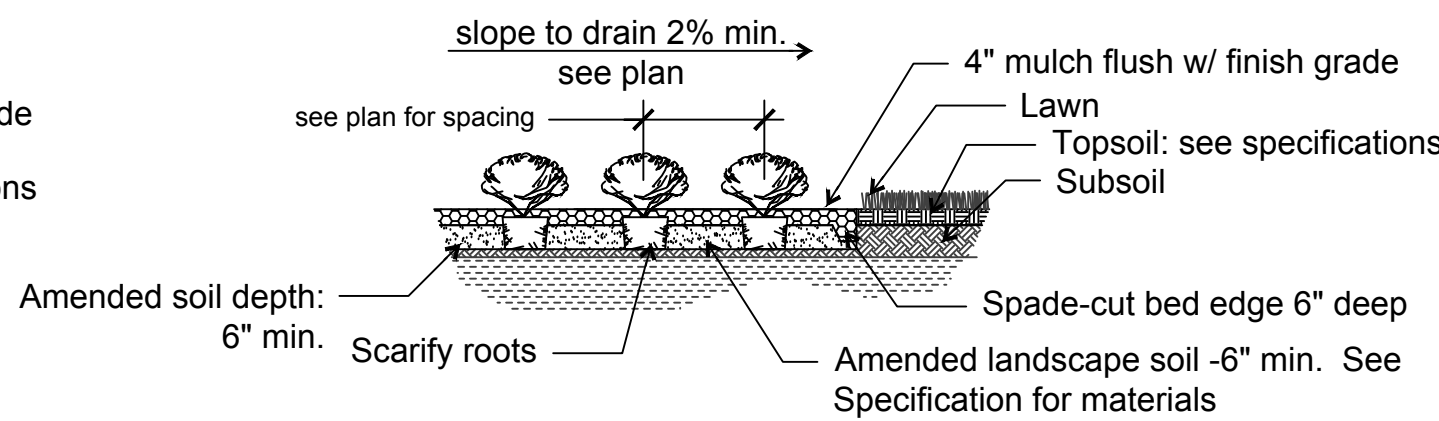
Landscape Planting Schedule					
Sym	Qty	Comman Name	Botanical Name	Size	Comment
A	7	October Glory Maple	Acer rubrum 'October Glory	2.5" Cal.	B&B
B	5	Ivory Silk Tree	Syringa reticulata 'Ivory Silk	2" Cal.	B&B
a	11	Gold Coast Juniper	Juniperus × pfitzeriana 'Gold Coast'	5 Gal.	
b	3	Red Switch Grass	Panicum virgatum 'Shenandoah'	1 Gal.	
c	15	Muhly Grass	Muhlenbergia reverchonii 'Undaunted'	1 Gal.	
d	6	Prairie Drop Seed	Sporobolus heterolepis	1 Gal.	
15,300		Sq. Ft. Fescue Sod			
700		Sq. Ft. Double Ground Bark Mulch			
9,600		Sq. Ft. New landscape area with 12" new topsoil			

GENERAL PLAN NOTES:

- Contractor is responsible for installing all plant material, sod, topsoil, and mulch as shown on plan and in specifications. Landscape quantities shown for reference and bid comparison only, contractor to furnish and install plant quantities shown on plan. Notify Owner/ Landscape Architect of any discrepancies.
- Contractor shall provide images of proposed plants, samples and all other submittals described in specifications.
- Contractor to field locate all utilities within construction limits prior to construction. Field adjust plants as required to avoid utilities.
- Sod and landscape areas to be watered and maintained for 30 days after installation** -see specifications.
- Provide plants, of quantity, size, genus, species and variety shown and scheduled for landscape work and complying with recommendations and requirements of ANSI Z60.1 "American Standard for Nursery Stock".
- Contractor to review and field verify existing and proposed conditions prior to construction.
- See Specifications for full requirements including warranty/ maintenance period(s), and landscape watering requirements. Specifications include plantings and sod.
- Plan(s) do not constitute contractor means and methods. Job site safety and project coordination is responsibility of contractor(s).



SHADE TREE PLANTING DETAIL



PLANTING DETAIL WITH MULCH



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CONSULTANTS



3/19/2021

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DATE

March 25, 2021

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SSD Project # SSD-110-21  
DHA: 202102

TITLE

PLANTING PLAN

SHEET

L1.1





Floor Plan  
Scale: 3/16" = 1'-0"



Existing Site Location



Existing Southwest Elevation



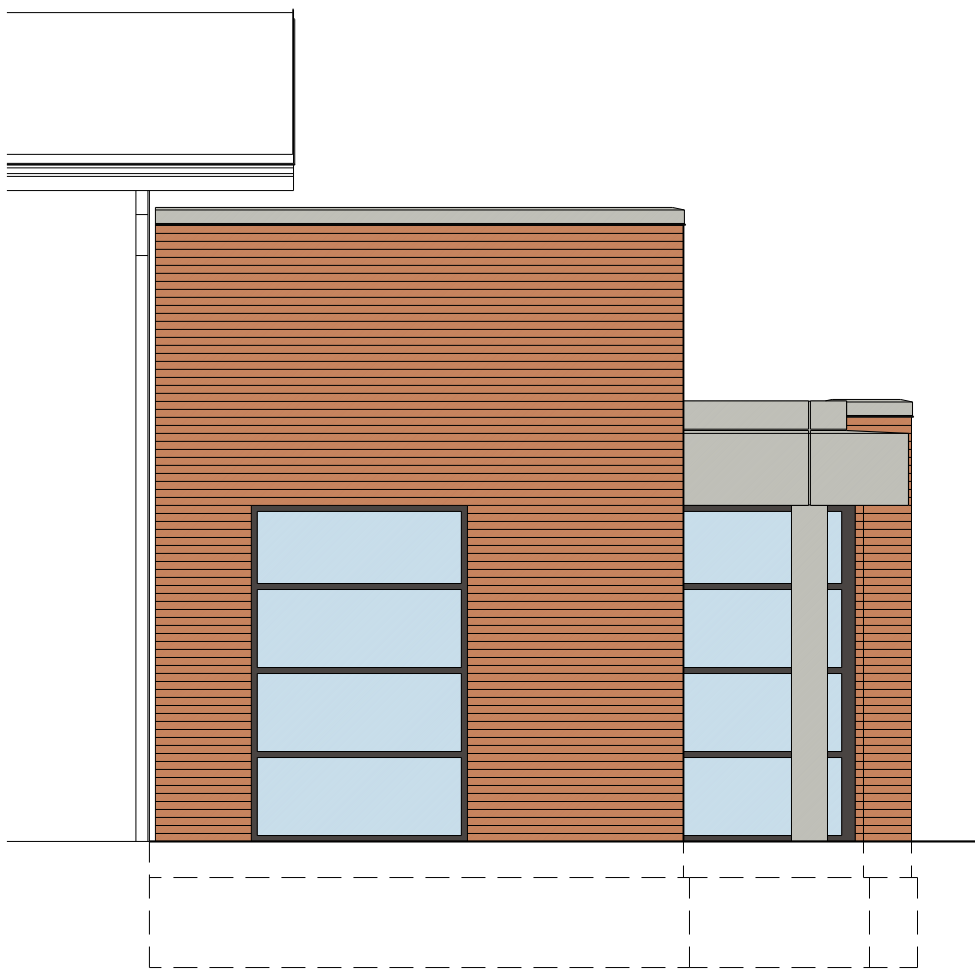
Existing South Elevation



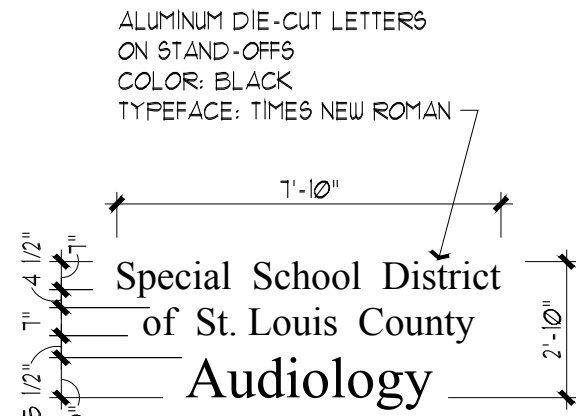
Existing East Elevation



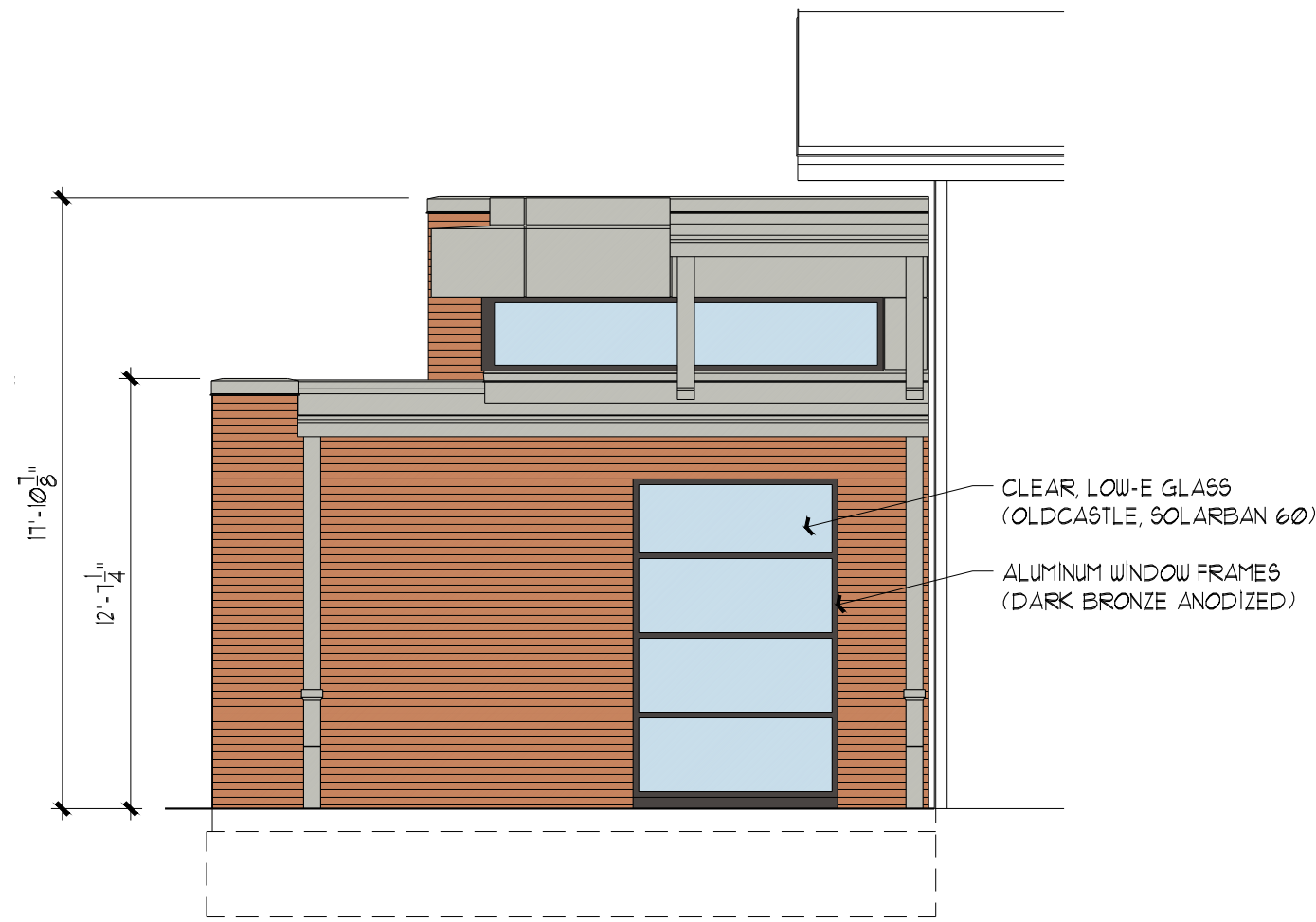
South Elevation  
Scale: 3/16" = 1'-0"



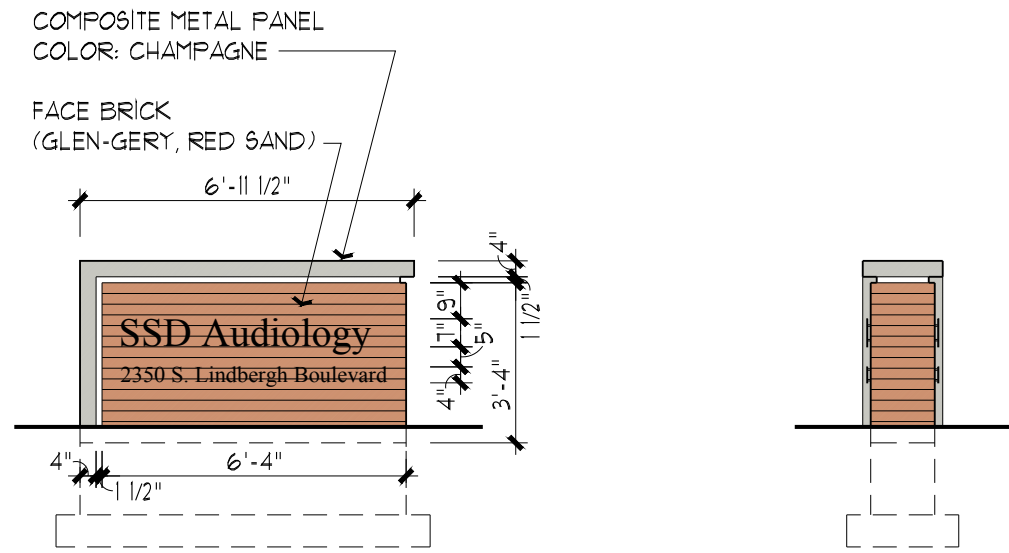
West Elevation  
Scale: 3/16" = 1'-0"



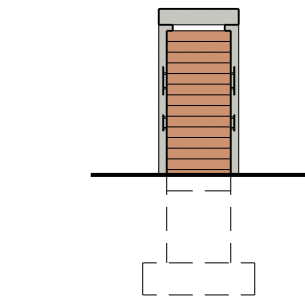
Enlarged Building Signage  
Scale: 1/4" = 1'-0"



East Elevation  
Scale: 3/16" = 1'-0"



Monument Sign  
Scale: 1/4" = 1'-0"



Monument Sign (Side View)  
Scale: 1/4" = 1'-0"



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SEAL  
Dwight Adam Dickinson A-2955

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SHEET

March 25, 2021

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DHA: 202102

Floor Plan,  
Exterior Elevations,  
Site Photos

# A1.0